

**PENNSYLVANIA HISTORIC RESOURCE SURVEY FORM - DATA SHEET/SITE PLAN SHEET**  
**PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION, BUREAU FOR HISTORIC PRESERVATION**  
**Box 1026, Harrisburg, PA 17108-1026**

SURVEY CODE/PIN/TAX MAP NO.:

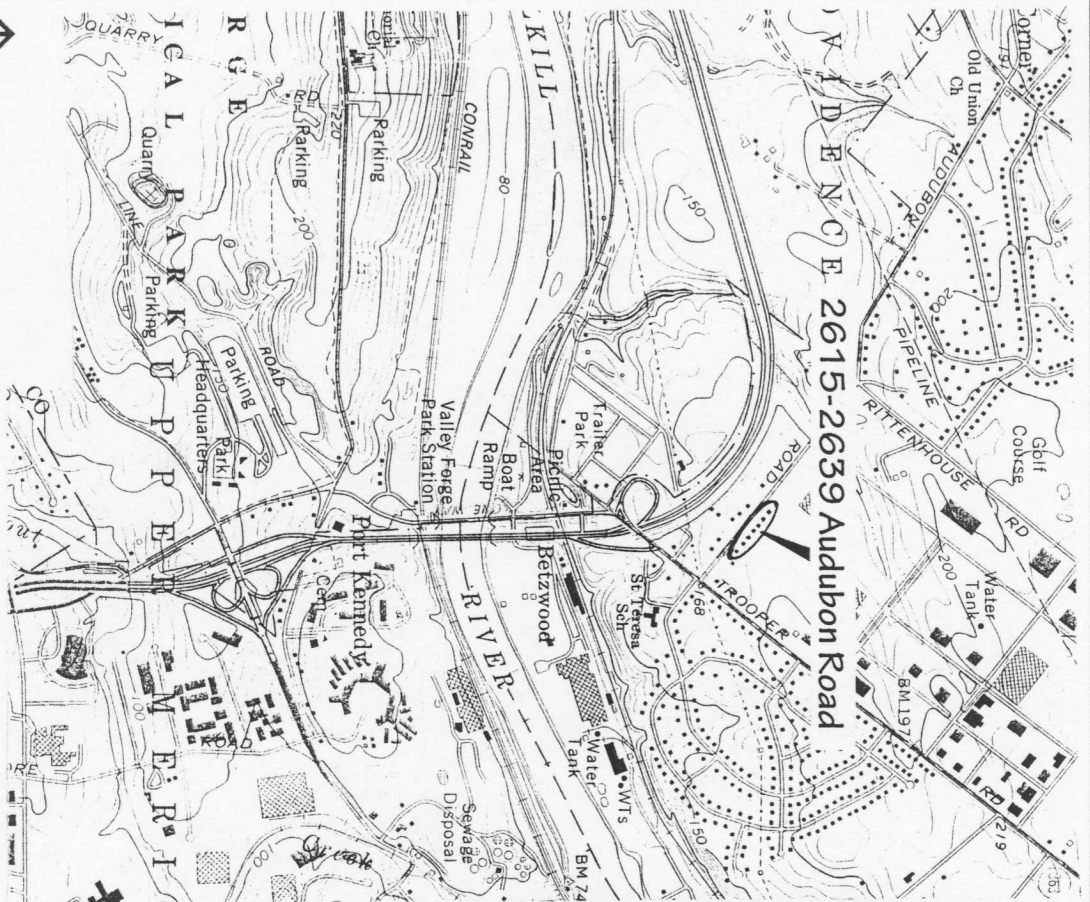
AHC 26 / multiple

MUNICIPALITY:

Lower Providence Township

HISTORIC NAME/OTHER NAME:

Audubon Road Residential District

**SITE PLAN****PHOTO INFORMATION**

COUNTY: Montgomery  
ADDRESS: 2615-2639 Audubon Road



NUMBER 1 DESCRIPTION OF VIEW 2619 Audubon Road FACING N

PHOTOGRAPHER: Erin Hammerstedt DATE: May 2004  
NEGATIVE(S): Roll 2:2 1/2, Roll 4; 2A, 5A  
NEGATIVE LOCATION: Archaeological & Historical Consultants, Inc.  
101 North Pennsylvania Avenue, PO Box 482  
Centre Hall, PA 16828

# PENNSYLVANIA HISTORIC RESOURCE SURVEY FORM – DATA SHEET

89B

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
BUREAU FOR HISTORIC PRESERVATION

## IDENTIFICATION AND LOCATION

SURVEY CODE: AHC 26 PIN / TAX MAP No: multiple  
 COUNTY: 1. Montgomery 091 2.  
 MUNICIPALITY: 1. Lower Providence Township  
 ADDRESS: 2615-2639 Audubon Road  
 HISTORIC NAME: Audubon Road Residential District  
 OTHER NAME:  
 OWNER NAME/ADDRESS: multiple  
 OWNER CATEGORY: PRIVATE ☒ ; PUBLIC-LOCAL ; PUBLIC-STATE ; PUBLIC-FEDERAL  
 RESOURCE CATEGORY: BUILDING ; DISTRICT ☒ ; SITE ; STRUCTURE ; OBJECT  
 NUMBER/APPROXIMATE NUMBER OF RESOURCES COVERED BY THIS FORM: 7  
 USGS QUAD: 1. Valley Forge, PA (1966/rev 1981) 2.  
 UTM REFERENCES: A. 18 E464120 N4440545 B. E 464225 N 4440440  
 C. E N D. E N

## HISTORIC AND CURRENT FUNCTIONS

HISTORIC FUNCTION CATEGORY: SUBCATEGORY: CODE:  
 A. domestic single dwelling 01A  
 B.  
 C.  
 D.  
 E.  
 F.  
 PARTICULAR TYPE: A. residence  
 B.  
 C.  
 D.  
 E.  
 F.  
 CURRENT FUNCTION CATEGORY: SUBCATEGORY: CODE:  
 A. domestic single dwelling 01A  
 B.  
 C.  
 D.  
 E.  
 F.

## PHYSICAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION: A. Modern Movement 70  
 B. C.  
 D. OTHER:  
 EXTERIOR MATERIALS: FOUNDATION concrete 50 ROOF asphalt shingle 63  
 WALLS stucco 61 WALLS aluminum siding 55  
 OTHER  
 STRUCTURAL SYSTEM: 1. timber – light frame 14 2.  
 WIDTH: 3 bay C DEPTH: 2 rooms B STORIES: 1 A

## HISTORICAL INFORMATION

YEAR BUILT: C. 1951 TO C. 1952 ADDITIONS/ALTERATIONS DATES: C. TO C.  
BASIS FOR DATING: DOCUMENTARY X ; PHYSICAL X  
EXPLAIN:

architectural field survey; tax assessment data; historic maps

CULTURAL/ETHNIC AFFILIATION:	1.	2.
ASSOCIATED INDIVIDUALS:	1.	2.
ASSOCIATED EVENTS:	1.	2.
ARCHITECTS/ENGINEERS:	1.	2.
BUILDERS:	1.	2.

## MAJOR BIBLIOGRAPHICAL REFERENCES

1. McAlester, V. and L.  
1993 *A Field Guide to American Houses*. Knopf, NY.
2. Montgomery County Deed Books (MCDB) and (MCTR) Tax Assessment Records, located in the Montgomery County Office Building, Norristown, PA.

## PREVIOUS SURVEY, DETERMINATIONS

None

## EVALUATION (SURVEY DIRECTOR/CONSULTANTS ONLY)

INDIVIDUAL NR POTENTIAL: YES ; NO X ; CONTEXT(S):  
CONTRIBUTES TO POTENTIAL DISTRICT: YES ; NO X ; NAME:

see Narrative Sheet

## THREATS

THREATS: 2 1. NONE 2. PUBLIC DEVELOPMENT 3. PRIVATE DEVELOPMENT 4. NEGLECT 5. OTHER  
EXPLAIN:

in the APE for proposed River Crossing Complex: SR 0422, Section 4TR improvement project

## SURVEYOR INFORMATION

SURVEYOR NAME/TITLE:	Erin Hammerstedt & Monica Hancock	DATE:	May 2004
PROJECT NAME:	River Crossing Complex: SR 0422, Section 4TR	TELEPHONE:	(814) 364-2135
ORGANIZATION:	Archaeological & Historical Consultants, Inc.	ZIP CODE:	16828
STREET AND NO.:	101 N. Pennsylvania Avenue, P.O. Box 482		
CITY AND STATE:	Centre Hall, PA		
ADDITIONAL SURVEY DOCUMENTATION:	none		
ADDITIONAL SURVEY CODES:			



**SURVEY CODE:** AHC 26 **PIN / TAX MAP NO:** multiple  
**COUNTY:** Montgomery **MUNICIPALITY:** Lower Providence Township  
**ADDRESS:** 2615-2639 Audubon Road  
**HISTORIC/OTHER NAME:** Audubon Road Residential District

**PHYSICAL DESCRIPTION**

This is a residential district made up of seven single-family residences that were constructed between 1951 and 1952. Each house is an example of the Modern style and Minimal Tradition form. All are wood-framed, L shaped, single story houses built on concrete foundations. The walls have been covered with stucco or aluminum siding. Their gabled roofs are covered with asphalt shingles. Other details include fireplaces with massive brick chimneys, six-over-six sash windows, metal window awnings, and detached garages or other outbuildings. The houses included in this neighborhood are identified below.

<i>Address</i>	<i>Owners</i>	<i>PIN</i>	<i>Date</i>
2615	Richard P. Sibley	43-00-00865-001	1952
2619	Anthony C., Jr. & Andrew C. Branca	43-00-00868-007	1952
2623	John P. Devitt, III	43-00-00871-004	1952
2627	Edward D. & Jeanette R. Pell	43-00-00874-001	1951
2631	Stavros Karvounis and Cheryl Innamorato	43-00-00877-007	1952
2635	Robert E. & Patricia Taber	43-00-00880-004	1952
2639	John W. & Francis D. Davis	43-00-00883-001	1952

**HISTORICAL NARRATIVE**

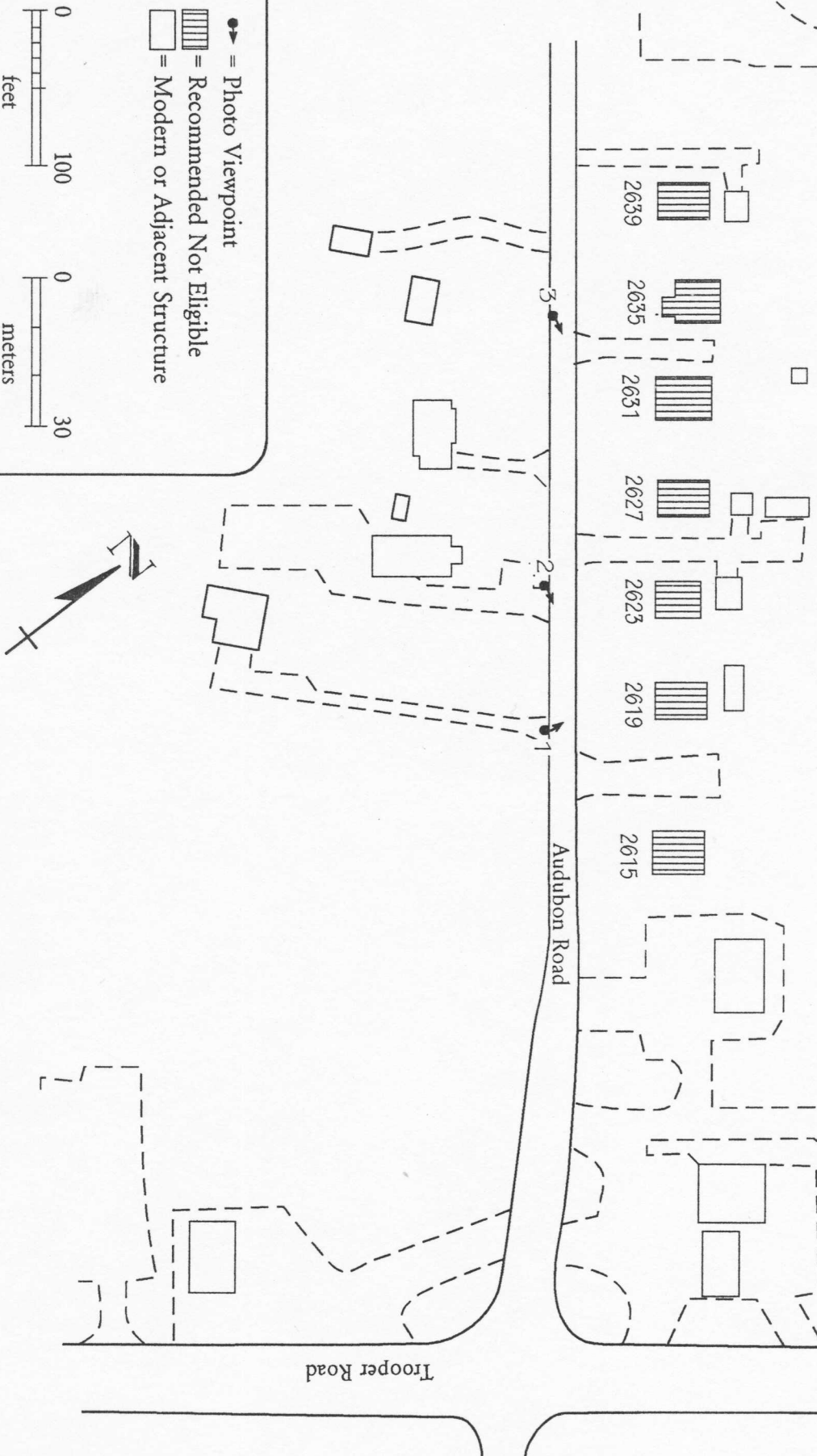
This series of seven houses, all having the same plan and constructed in 1951 and 1952, comprise the linear Audubon Road Residential District. The buildings typify the Modern Style and Minimal Tradition form, as identified by McAlester (McAlester 1993). The Modern Style began to appear in the years following the Depression, while the Minimal Traditional form developed in the years following World War II. The Minimal Traditional form is a reflection of the federal government's regulations regarding the types of homes that qualified for the government-subsidized mortgages. The use of a single plan in this neighborhood, which was mass-produced from pre-assembled components, allowed these modest homes to be available to working class individuals. Although several of the homes have been altered since their original construction, they continue to reflect trends in housing that were taking place in the early 1950s.

**NATIONAL REGISTER EVALUATION**

The Audubon Road Residential District is recommended as not eligible to the National Register of Historic Places. The property is not directly associated with events that have made a significant contribution to the broad patterns of our history (A). It is not associated with particularly important individuals or groups (B). The houses that comprise the neighborhood are not significant examples of their type, period, or method of construction (C). The neighborhood is not historically or architecturally significant, and several of the buildings within it have been altered. It is not known if the area surrounding the Audubon Road Residential District contains deposits that could yield information important in history or prehistory, and therefore the resource cannot be evaluated under Criterion D.

**AUDUBON ROAD RESIDENTIAL DISTRICT**  
 2615-2639 AUDUBON ROAD  
 LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY  
 SITE PLAN

**AHC 26**  
**Audubon Road**  
**Residential District**



**AUDUBON ROAD RESIDENTIAL DISTRICT**  
**2615-2639 AUDUBON ROAD**  
**LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY**  
**PHOTOGRAPH SHEET**



**PHOTOGRAPH 2:** 2619 and 2615 Audubon Road, view facing east. While 2617 retains a relatively high level of integrity, 2615 has been highly altered.



**PHOTOGRAPH 3:** Streetscape of the Audubon Road Residential District, looking east. The house shown near the left side of the photograph is the relatively intact 2631 Audubon Road.